

DRAFT ADA SELF-EVALUATION AND TRANSITION PLAN

CALIFORNIA TAHOE CONSERVANCY

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PURPOSE OF THIS PLAN

This document represents the California Tahoe Conservancy’s (Conservancy) Self Evaluation and Transition Plan (Plan), in accordance with the Americans with Disabilities Act (ADA) and its implementing regulations. (42 U.S.C. § 12101 et seq.; *see also* 28 C.F.R. Part 35.) The ADA provides a “clear and comprehensive national mandate for the elimination of discrimination against individuals with disabilities.” (42 U.S.C. § 12101(b)(1).) As a public entity and an agency of the State of California with statutory authorities that mandate the provision of public programs and facilities, the Conservancy is subject to the ADA’s Title II Requirements for State and Local Government Programs and Services (Title II). (42 U.S.C. §§ 12131–12165; 28 C.F.R. §§ 35.101–35.999.) Title II requires public entities to operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities. (28 C.F.R. § 35.150.) The purpose of this Plan is to provide a framework for improving accessibility of the Conservancy’s programs and facilities for people with disabilities. This Plan identifies access barriers at the five Conservancy-owned sites featuring the greatest extent of permanent recreation-based development and amenities, the intended methods to remove those barriers, and a schedule for their removal. The document also identifies the official responsible for implementing the Plan, and establishes a grievance procedure for bringing additional access barriers to the Conservancy’s attention. This Plan aligns with the Conservancy’s 2018-2023 Strategic Plan by seeking to improve public access and outdoor recreation for all communities.

MISSION AND VISION OF THE CALIFORNIA TAHOE CONSERVANCY

The California Legislature created the Conservancy in 1984 to restore and sustain a balance between the natural and the human environment, and between public and private uses, in the Lake Tahoe Basin (Basin). The Conservancy’s enabling legislation grants it the power to select and acquire real property, or interests therein, in the name of and on behalf of the State, for the purposes of protecting the natural environment, providing public access or public recreational facilities, preserving wildlife habitat areas, or providing access to or management of acquired lands. (Cal. Gov. Code, § 66907.) Since its inception, the Conservancy has acquired more than 4,700 parcels of land, totaling over 6,500 acres. The Conservancy’s jurisdiction extends throughout the California side of the Basin, as defined in California Government Code section 66905.5.

The mission of the Conservancy is to lead California’s efforts to restore and enhance the extraordinary natural and recreational resources of the Lake Basin. The Conservancy envisions a Basin where:

- the Lake has clear waters, healthy watersheds, and resilient forests;
- outdoor recreation and eco-tourism support a robust economy;
- all communities have equitable access to the Lake;
- communities minimize their carbon footprints by walking, biking, and using public transit; and
- Basin projects and programs provide national models for sustainability, stewardship, resilience, and climate change adaptation.

ADA MANDATES

Congress passed the ADA on July 26, 1990. The ADA seeks to dispel stereotypes and assumptions about disabilities, and to assure equality of opportunity, full participation, independent living, and economic self-sufficiency for people with disabilities. Title II of the ADA addresses programs, activities, and services provided by public entities. (42 U.S.C. § 12101.)

The U.S. Department of Justice (US DOJ) implements Title II through regulations that US DOJ revised in September 2010 to include the latest Standards for Accessible Design (2010 Standards). The 2010 Standards update the earlier Uniform Federal Accessibility Standards (UFAS) that US DOJ adopted in 1991. In cases where an existing facility complied with the UFAS as of March 15, 2012, the regulations do not require the public entity to make changes to

meet the 2010 Standards unless and until the facility is subsequently altered. (28 C.F.R. § 35.151.) Public facilities constructed or altered after March 15, 2012 are subject to the 2010 Standards. (Ibid.)

The regulations implementing Title II provide that public entities shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities. (28 C.F.R. § 35.150.) The regulations do not necessarily require public entities to make all of their facilities accessible to and usable by individuals with disabilities. (Ibid.) Nor do they require public entities to take any action that would threaten or destroy the significance of an historic property. (Ibid.) Finally, a public entity is not required to take any action where the entity can demonstrate that the action would result in a fundamental alteration in the nature of a service, program or activity, or in undue financial and administrative burdens. (Ibid.)

ADA SELF-EVALUATION AND TRANSITION PLAN REQUIREMENTS

In the event a public entity determines that structural changes to existing facilities are needed to comply with ADA standards in existence at the time of construction or alteration, the public entity may (or shall if the entity employs fifty or more persons) develop a transition plan setting forth the steps necessary to complete such changes. (28 C.F.R. § 35.150(d).) The transition plan must:

- identify the physical obstacles in the public entity’s facilities that limit the accessibility of its programs or activities to individuals with disabilities;
- describe the methods that will be used to remove these barriers and make the facilities accessible;
- specify the schedule for taking the steps necessary to remove the barriers over time and achieve compliance with ADA standards; and
- indicate an official responsible for implementing the plan.

METHODOLOGY AND RESULTING SCOPE OF THE PLAN

The Conservancy acquired the vast majority of its lands – nearly ninety percent – for their environmental sensitivity and to protect such lands from development. Additionally, eighty-seven percent of the Conservancy’s properties are less than half-an-acre in size, and located within residential subdivisions. Few Conservancy properties are appropriate for developed recreational facilities due to applicable land characteristics and management purposes.

In 2013, the Conservancy contracted with the California Department of General Services (DGS) to perform ADA access surveys for the smaller subset of Conservancy-owned properties with recreational improvements. The Conservancy requested that DGS focus particularly on evaluating five Conservancy-owned properties featuring the greatest extent of permanent recreation-based development and amenities, specifically:

- Carnelian West / Gar Woods,
- Carnelian East / Patton Landing,
- Kings Beach Plaza,
- North Tahoe Beach, and
- Van Sickle Bi-State Park (California-side only)

Unlike other Conservancy-owned properties that may be used for dispersed or more passive forms of recreation, the five developed recreation sites contain several recreational improvements, including but not limited to picnic areas, permanent restrooms, parking lots, boardwalks, and other amenities. In addition, the Conservancy acquired the properties primarily to facilitate recreation, and recreation use represents their predominant public resource value. These characteristics differentiate the five evaluated properties from the vast majority of other Conservancy-owned lands, and make them the most important for purposes of ADA compliance.

In 2014, a Certified Access Specialist from DGS’ Real Estate Services Division Project Management and Development Branch evaluated those Conservancy sites with recreational improvements for consistency with the

2010 Standards and 2010 California Building Code. The resulting Access Compliance Evaluation Report (ACER) provided a detailed list of the accessibility barriers observed at the five most developed recreation sites listed above.

The ACER's identification of barriers at the five developed recreation sites is the starting point for this Plan. This Plan builds on the ACER evaluation by establishing the Conservancy's intended method to remove each barrier, and the expected timeline for barrier removal. While this document provides the identification and timeline for removing barriers at the five most developed sites, it is not intended to suggest that the Conservancy does not consider accessibility at its other properties, or that the Conservancy is unwilling to consider public feedback about the accessibility of other properties on a case-by-case basis.

Below is a map that displays the general locations of the sites covered in this Plan.



PLAN ORGANIZATION

The following site evaluations provide an overview of each site; list in spreadsheet form the accessibility barriers the ACER identified at the site; describe the methods the Conservancy will use to remove the barriers or provide access; and set forth the Conservancy's expected timeline for completing the corrective action. The spreadsheets follow the format established by the survey forms utilized for the ACER. Images illustrating the barriers are included. The methodology used to assign each barrier a corrective timeline is described below.

METHODOLOGY FOR ASSIGNING CORRECTIVE TIMELINE

Every barrier requires a timeline for removal. To better assist the decision-making process and more clearly identify the timeline for Conservancy-led barrier removal, the Plan assigns a corrective timeline to each deficiency listed in the corrective action tables. The corrective timeline categories are:

Short-term: corrective action to occur within 5 years as part of routine land management;

Mid-term: corrective action to occur within 5-10 years;

Long-term: corrective action to occur within 10-20 years; and

Done: corrective action has occurred.

Conservancy staff developed criteria to prioritize barrier removal and assign appropriate corrective action timelines. The Plan generally prioritizes barriers, and assigns a shorter corrective timeline to barriers, depending on the criteria that apply to each barrier, with greater weight given to certain criteria. The criteria listed in order of greater to lesser weight are as follows:

- The barrier presents obvious public safety concerns;
- The barrier is the subject of an accessibility complaint from the public;
- The barrier is located at a facility directly managed by the Conservancy (no concessionaire / management agreement related to ADA)¹;
- The barrier is located at a facility for which no new capital projects are planned or anticipated within five years²;
- The barrier can be readily addressed by Conservancy staff or maintenance crew (simple maintenance)³;
- The barrier involves parking, entrance, and travel paths; and
- The barrier is located at a facility that receives a high level of use by the public (volume of users).

The Plan is a living document that the Conservancy will update as programs and services change, as barriers are removed, and as the Conservancy constructs new projects and facilities. Around the end of each calendar year, the Conservancy intends to update the Plan by identifying barriers removed during the prior fiscal year, and listing barriers targeted for removal during the upcoming fiscal year. The Conservancy reserves the right to modify barrier removal priorities to allow flexibility in accommodating public requests, changes in Conservancy programs, and funding constraints and opportunities.

ADA COORDINATOR AND GRIEVANCE PROCEDURE

Public entities such as the Conservancy may develop and publish a grievance procedure to provide fair and prompt resolution of complaints under Title II of the ADA. (28 C.F.R. § 35.107.) The Conservancy's grievance procedure appears below, and on the Conservancy's website. It will be updated in the event the Conservancy changes the procedure, or if there is a change in the Conservancy's ADA Coordinator. Currently, the Conservancy's ADA coordinator is Nick Meyer, Associate Environmental Planner.

¹ The corrective timelines reflect Conservancy-led barrier removal. The Conservancy used direct-management as a prioritization criterion because concessionaire or other third party management agreements provide separate opportunities for the Conservancy to require the third-party manager to remove barriers rather than the Conservancy directly.

² The Conservancy assigns greater priority to barriers located at sites where there are no new capital projects planned or anticipated within five years because such barriers require more immediate attention than barriers that will be removed as part of an already planned or anticipated capital improvement project.

³ Barriers that can be addressed by simple maintenance are given priority because such barriers are "low hanging fruit" that are easier to address.

Grievance Procedure

Model Notice Provided by the Department of Justice

This grievance procedure is established to meet the requirements of the Americans with Disabilities Act of 1990 (ADA). It may be used by anyone who wishes to file a complaint alleging discrimination on the basis of disability in the provision of services, activities, programs, or benefits by the State of California California Tahoe Conservancy (Conservancy). The State of California's personnel policies govern employment-related complaints of disability discrimination.

The complaint should be in writing and contain information about the alleged discrimination such as name, address, phone number of complainant and location, date, and description of the problem. Alternative means of filing complaints, such as personal interviews or a tape recording of the complaint, will be made available for persons with disabilities upon request.

The complaint should be submitted by the grievant and/or his/her designee as soon as possible but no later than 60 calendar days after the alleged violation to:

Nick Meyer, ADA Coordinator
California Tahoe Conservancy
1061 3rd Street, South Lake Tahoe, CA 96150
(530) 542-5580

Within 15 calendar days after receipt of the complaint, Nick Meyer or his designee will meet with the complainant to discuss the complaint and the possible resolutions. Within 15 calendar days of the meeting, Nick Meyer or his designee will respond in writing, and where appropriate, in a format accessible to the complainant, such as large-print format, braille, or audiotape. The response will explain the position of the Conservancy and offer options for substantive resolution of the complaint.

If the response by Nick Meyer or his designee does not satisfactorily resolve the issue, the complainant and/or his/her designee may appeal the decision within 15 calendar days after receipt of the response to the Conservancy's Executive Director or his/her designee.

Within 15 calendar days after receipt of the appeal, the Conservancy's Executive Director or his/her designee will meet with the complainant to discuss the complaint and possible resolutions. Within 15 calendar days after the meeting, the Conservancy's Executive Director or his/her designee will respond in writing, and, where appropriate, in a format accessible to the complainant, with a final resolution of the complaint.

All written complaints received by Nick Meyer, the Conservancy's ADA Coordinator, or his designee, appeals to the Conservancy's Executive Director or his/her designee, and responses from these two offices will be retained by the Conservancy for at least three years.

PREPARATION AND REVIEW OF THE SELF-EVALUATION/TRANSITION PLAN

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CARNELIAN WEST

FACILITY DESCRIPTION

Carnelian West includes a restoration site and recreation access. The site includes a concrete paver walkway with interpretive signs, benches, picnic tables, barbecues and public restrooms.

Facilities include shared parking with Gar Woods Grill and Pier restaurant and public beach/lake access. Parking spaces are not designated for either beach or restaurant users. A shared use agreement between the Conservancy and Gar Woods allows for public use of the parking lot. The Conservancy should evaluate the agreement with council to ensure responsibility for maintaining the shared parking's accessible components is clearly identified. The transition plan considers the two (2) accessible spaces closest to the recreation facilities as the two (2) accessible spaces closest to Gar Woods may be considered that property owner's responsibility.

In addition to facilities that may be addressed by accessibility policies for outdoor developed areas, accessibility issues include but are not limited to the following areas:

1. Parking
2. Accessible routes of travel: public rights of way
3. Accessible routes of travel: on-site
4. Curb ramps
5. Drinking fountains
6. Restroom modifications
7. Signage
8. Site furnishings and amenities



Location of Carnelian West

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1: PARKING

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
1: Parking			
1.A: Number	Only three (3) accessible spaces are provided and four (4) are required.	Restripe to provide four (4) accessible stalls with one (1) van accessible stall.	Done
1.B: Striping	Striping of accessible spaces and access aisle were faded at the time of the survey.	Restripe accessible spaces and access aisle.	Done



Site Plan – Accessible Parking Location for the Two Spaces Serving Conservancy Facilities

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2: ACCESSIBLE ROUTE OF TRAVEL – PUBLIC RIGHTS OF WAY

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
2: Accessible Route of Travel – Public Rights of Way			
2.A: Cross Slope	There are minor deviations in cross slope along the path of travel. The greatest deviation is 2.8%.	Reconstruct walkway to not exceed 2% cross slope.	Long-term
2.B: Changes in Level	Walkway levels change greater than ¼" along concrete paver walkway.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Long-term



Site Plan – Accessible Route of Travel along the Public Right of Way



Change in level exceeds ¼".

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3: ACCESSIBLE ROUTE OF TRAVEL – ON-SITE

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE
CARNELIAN WEST			
3: Accessible Route of Travel – On Site			
3.A: Facilities Connected	The concrete sidewalk ends approximately 40 feet short of reaching the beach and transitions to a decomposed granite and native soils pathway for which there are no adopted tests or standards to measure firmness and stability. The transition between systems exceeds ¼" vertical change.	Provide an accessible connection to the beach and ensure no transition points exceed ¼" vertical change.	Long-term
3.B: Cross Slope	Several areas exceed 2% cross slope. The greatest discrepancy is 3.8%.	Reconstruct walkway to not exceed 2% cross slope.	Long-term
3.C: Changes in Level	Changes in walkway levels are greater than ¼" at transitions from paver to concrete or asphalt due to settling. Transitions at concrete utility inlets or concrete utility access boxes are not compliant. The terminus of the paver system and transition to a decomposed granite pathway exceeds ¼" .	Replace or reinstall the sections of walkway to provide transitions less than ¼" .	Mid-term
3.D: Surface	Decomposed granite pathway's stability and firmness should be confirmed.	Confirm the pathway's stability and firmness in both wet and dry conditions	Short-term
3.E: Abrupt Changes in Level Greater than 30"	A change in level exceeds 30" and no 42" high guard is provided along the pathway adjacent and parallel to the beach.	If the pathway is outside of the path of travel, provide appropriate signage to designate the accessible route OR provide a 42" high guard to prevent persons from falling off the open edge where the vertical change exceeds 30" .	Long-term



Site Plan – Routes of Travel On-Site

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There is no accessible path to beach access. This transition has a vertical transition greater than 1/2" and the trail is uneven. Vertical changes greater than 1/4" exist due to settling pavers.



The ledge and vertical change next to the path exceeds 30". The decomposed granite path exceeds slope requirements.



Excessive vertical change exists at the transition to the unimproved trail to beach access.

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4: CURB RAMPS

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
4: Curb Ramps			
4.A: Slope	The slope of the off-site (part of the public right of way) curb ramp exceeds 8.3% and is 10.8% near the bottom.	Reconstruct curb ramp to not exceed 8.3%.	Mid-term
4.B: Transition	The transition of the off-site curb ramp does not have a flush transition to the road or gutter that is free of abrupt changes.	Reconstruct curb ramp to meet accessibility requirements.	Mid-term
4.C: Counter Slope	The running slope of the road, gutter or accessible route adjoining the off-site curb ramp exceeds 5%.	Reconstruct the facility to not exceed 5% slope.	Long-term
4.D: Detectable Warning	The curb ramps do not have detectable warnings.	Install appropriate detectable warnings on the curb ramps.	Mid-term
4.E: Straight Curb	No 24" segment of straight curb is located on each side of the diagonal curb ramp.	Reconstruct curb ramp to meet accessibility requirements.	Long-term

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Site Plan – Curb Ramp Locations



The curb ramp lacks truncated domes and lacks a 24" straight section of curb at flared edges. The ramp exceeds 8.3%.

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5: DRINKING FOUNTAINS

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
5: Drinking Fountains			
5.A: Drinking Fountains	Only one "low" drinking fountain exists.	Provide a "high" drinking fountain that is accessible to persons who have difficulty bending or stooping.	Mid-term
5.B: Protruding Objects	The wall-mounted drinking fountain is not mounted in an alcove or installed with side rails and therefore projects more than 4" into the circulation path between 27" and 80" above the floor.	Install side rails to meet accessibility requirements for protruding objects.	Mid-term



No "high" drinking fountain provided. Only a "low" fountain provided. Drinking fountain is considered a protruding object because it is not installed in an alcove and does not include rails at both sides for cane detection.

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6: RESTROOMS

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
6: Restrooms			
6.A: Number of Accessible Units Provided	Less than 50% of the available single user toilet rooms are accessible.	Identify if an exception was granted at the time the plans were approved. If the facilities are altered DSA may require additional restrooms to be added.	Long-term
6.B: Door Operating Effort	The force required to operate the door is greater than 5 lbs.	Adjust door operating mechanism to require no greater than 5 lbs. to open/close or replace door with a door that meets accessibility requirements.	Short-term
6.C: Other Door Requirements	The door pressure and closing speeds exceed 5 lbs. and 5 seconds, respectively.	Adjust door operating mechanism to require no greater than 5 lbs. to open/close and has a closing speed less than 5 seconds or replace door with a door that meets accessibility requirements.	Short-term
6.D: Water Closet Location	The centerline of the water closet is 16" from the wall, not the required 18".	Adjust water closet so that its centerline is 18" from the wall.	Short-term
6.E: Water Closet Flush Controls	The push button is centered behind the toilet and controls exceed 5 lbs. operating pressure.	Replace and relocate push button to meet accessibility requirements and be located on the wide side of the water closet where clear floor space is provided.	Done
6.F: Toilet Paper Dispenser	The toilet dispenser is 38" from the rear wall instead of the 36" maximum. The top roll is located above 19" above finish floor instead of having the dispenser centered at least 19" above finish floor. (Note this requirement has changed in the 2013 CBC).	Reinstall/replace toilet dispenser to meet accessibility requirements: distance from the front edge of the toilet to the centerline of the toilet paper dispenser is to be 7" minimum and 9" maximum. The outlet of the dispenser shall be below the grab bar, 19" minimum above the finish floor.	Short-term
6.G: Grab Bar Wall Clearance	The space between the grab bar and the wall is less than 1-1/2" where the toilet paper dispenser passes behind the grab bar.	Recess the toilet paper dispenser or replace with a unit that allows for 1-1/2" between the grab bar and the wall.	Short-term
6.H: Rear Grab Bar	The rear grab bar extends only 22" from the centerline of the water closet on one side instead of the minimum 24".	Adjust rear grab bar location so that when measured from the centerline of the water closet it extends 12" minimum from the centerline on one side and 24" minimum on the other side.	Short-term
6.I: Lavatory Knee Clearance	Knee clearance extends only 6" from the front edge of the lavatory instead of the minimum 8".	Replace lavatory or adjust stainless steel shroud over piping so that it allows for the required knee clearance.	Short-term
6.J: Mirrors	The bottom edge of the mirror's reflecting surface is 42" above finish floor instead of the maximum 40".	Adjust mirror so that the bottom edge of the reflecting surface is no more than 40" above finish floor.	Short-term

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ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
6: Restrooms			
6.K: Dispensers Operating Height	Sanitary napkin dispenser's coin slot is located 53" above finish floor instead of the maximum 40".	Remount or replace dispenser so that the highest operable part is no higher than 40" above finish floor.	Short-term



Site Plan – Restroom Location



Although the changing table can be opened from 40" above finish floor the actual pull location is above 40" above finish floor.

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The bottom of the mirror's reflective surface is higher than 40" above finish floor. The metal shroud limits clear knee space to 6" instead of the required 8".



The coin slot and operator is more than 40" above finish floor.



Flush control is centered instead of being mounted on the wide side of the water closet where clear space is provided. The outlet of the toilet paper dispenser should be 19" minimum above the finish floor. The dispenser unit reduces the clear space behind the grab bar to less than the required 1-1/2".

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7: SIGNAGE

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
7: Signage			
7.A: Side of Doors	The accessible restroom sign is located on the approach side; however, it is not on the latch side of the door.	Relocate restroom sign to the latch side of the door and install at required heights and off-sets.	Short-term
7.B: Identification Symbols	The unisex symbol does not provide appropriate alternating contrast. The circle does not substantially contrast with the door and the triangle is the same color as the circle. The white border around the triangle does not meet the contrasting requirements.	Replace symbol with appropriate contrasting symbol.	Short-term
7.C: Raised and Braille Characters	The Grade 2 braille translation is "Restroom". There is no indication of whether the restroom is unisex or otherwise.	Provide new Grade 2 braille translation that matches the door's identification text (Men's or Women's).	Short-term
7.D: Pictograms	The pictogram indicates both men and women (unisex) facilities. The raised characters indicated "Restroom". Pictograms are not required, but if provided, the text must match the pictogram.	Provide new Grade 2 braille translation that matches the door's pictogram (Men's or Women's or Unisex).	Short-term
7.E: Accessible Restroom Signage	There are no signs at the adjacent non-accessible restrooms indicating where the accessible restroom is located.	Provide directional signage at non-accessible restrooms to indicate the location/route to accessible restrooms.	Short-term
7.F: Accessible Parking Signage	A tow-away sign is not posted at the parking entry or adjacent and visible from each accessible stall.	Provide a tow-away sign with required language.	Short-term
7.G: Accessible Parking Signage	The sign lacks the minimum fine amount of \$250.	Add a minimum fee amount of \$250 to sign.	Short-term
7.H: Accessible Routes Signage	Signs are not provided at every major junction where the accessible route of travel diverges from the regular circulation path.	Provide appropriate accessibility signage to designate the accessible route of travel where it diverges from the regular circulation path.	Short-term

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Triangle does not contrast with the circle and the circle does not substantially contrast with the door.



Braille does not indicate "Men's or Women's" or "Unisex". The sign is not located on the latch side of the door.



Sign lacks "Minimum Fine \$250".

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8: SITE FURNISHINGS & AMENITIES

ITEM	EXISTING BARRIER	POTENTIAL OPTIONS	CORRECTIVE TIMELINE
CARNELIAN WEST			
8: Site Furnishings and Amenities			
8.A: Picnic Tables	Picnic table is not on an accessible path and does not provide 27" required knee space.	<p>Replace picnic table with a table that meets accessibility requirements and locate appropriate number of tables on an accessible path.</p> <p>Provide at least one accessible picnic table and one additional table for each 20 tables or fraction thereof. The number of overall tables should be separated by individual picnic areas and by the type of experience. The accessible table and accompanying amenities should be on an accessible route with appropriate clear space.</p>	Mid-term
8.B: Amenities on Accessible Routes	Barbecues, picnic tables and pet waste bag dispensers are not located on an accessible route.	Provide amenities along an accessible route of travel or provide an accessible route of travel to the amenities.	Mid-term



Typical bench at Carnelian West.



Typical trash receptacle at Carnelian West.

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Pet waste receptacle dispenser should be provided along an accessible route.



Barbecue should be provided along an accessible route.



Picnic table should be provided along an accessible route and provide for 27" knee clearance.



KINGS BEACH PLAZA

FACILITY DESCRIPTION

Kings Beach Plaza includes recreation facilities and a storm water improvement site adjacent to Kings Beach State Recreation Area in Kings Beach, California. Facilities include a concrete walkway, an improved plaza with interpretive signs, benches, picnic tables, drinking fountains, barbecues and a half-court basketball sports surface. The stairs cannot be considered as part of an accessible route because a person in a wheelchair cannot utilize them.

DGS constructed the facility in 1994. The CASp conducted the evaluation prior to new streetscape improvements constructed in 2014-2015. Those improvements may have corrected some accessibility issues along the public rights of way such as curb cuts and detectable barriers.

A kayak rental business started on the site subsequent to the accessibility evaluation. In the event the Conservancy decides to lease an area for this or a similar purpose, it should provide an accessible route to the concession facility and to the boat launch area.

Accessibility issues include but are not limited to the following areas:

1. Accessible routes of travel: public rights of way
2. Accessible routes of travel: on-site
3. Curb ramps
4. Drinking fountains
5. Stairs
6. Site furnishings and amenities



Kings Beach Plaza is located adjacent to the Kings Beach State Recreation Area in Kings Beach, California.

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1: ACCESSIBLE ROUTE OF TRAVEL – PUBLIC RIGHTS OF WAY

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
1: Accessible Route of Travel – Public Rights of Way			
1.A: Cross Slope	A majority of cross slopes have minor to moderate discrepancies. The largest of these discrepancies happens at the southeastern plaza entrance/driveway where the cross slope is 8.2% with the flared sides up to 10%. At this location there is no level route around the curb cut/drive entry. The average cross slope outside of this outlier ranges from 2.1% to 2.6%.	Reconstruct walkways to not exceed 2% cross slope. Evaluate the need for curb ramps at southeastern plaza entrance/driveway to correct cross slope issues. *Note: Evaluate if issue was corrected with new streetscape improvements in 2014-2015.	Done
1.B: Changes in Level	Changes in walkway levels are greater than ¼" at transitions from paver to concrete or asphalt due to settling. Transitions issues exist at concrete utility boxes along North Tahoe Boulevard and at the curb ramp at the corner of North Tahoe Boulevard and Coon Street.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Done
1.C: Path of Travel Width	Damage to the walkway reduces the path of travel to less than 48".	Repair walkway to meet accessibility guidelines. *Note: Evaluate if issue was corrected with new streetscape improvements in 2014-2015.	Done



Accessible routes within the public rights of way. The assessment was completed prior to Kings Beach Commercial Core enhancements which may have addressed some of the barriers.

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Curb ramp lacks truncated domes.



No clear direction of travel exists in the plaza so cross slopes in all directions must not exceed 1:48 (2%).



Damaged walk is reduced to less than 48" in width.



The curb ramp lacks truncated domes and lacks a 24" straight section at the flared edges. Excessive vertical change exists between pavers and concrete elements.

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2: ACCESSIBLE ROUTE OF TRAVEL – ON-SITE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
2: Accessible Route of Travel – On Site			
2.A: Protruding Objects	A drinking fountain extends into the path of travel and does not have rails extending to the ground for the purpose of cane detection.	Install rails to allow for cane detection or replace drinking fountain and set outside of the path of travel so that it is not considered a protruding object.	Long-term
2.B: Cross Slope	Various locations along the path of travel throughout the facility have cross slopes that exceed 2%. The most excessive are in the interior plaza area immediately adjacent to the storm drain inlets. In this area the cross slopes range from 2.1% to 4.2%. Other instances of excessive cross slope exist near the concrete stadium style benches surrounding the interior plaza. Due to the proportions of the many intersecting walks a definitive direction of travel is not discernable and allows for multiple paths of travel. As such there are various minor instances throughout the site.	Reconstruct the walkway and plaza to not exceed 2% cross slope. If the plaza is not able to be designed so that the entire area does not exceed 2% cross slope, consider alterations to define clear paths of travel in which the cross slope does not exceed 2%.	Long-term
2.C: Running Slope	A portion of the walkway along the path of travel to the beach access stair exceeds 5%.	Reconstruct walkway to not exceed 5% or install a ramp per accessibility standards.	Long-term
2.D: Changes in Level	Changes in walkway levels are greater than ¼" at transitions from paver to concrete or asphalt due to settling. Transitions at concrete utility inlets or concrete utility access boxes are not compliant.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Mid-term
2.E: Grates	Drain inlets in the plaza and at the curb have openings wider than ½" in the direction of travel.	Replace non-compliant grates with grates that meet accessibility requirements.	Done
2.F: Detectable Warning	Detectable warnings are not provided where walkway transitions to vehicular way.	Install appropriate detectable warnings on walkways that transition vehicular ways.	Done



Accessible routes and trails on site. Note that stairs cannot be considered part of an accessible route because they cannot be utilized by a person in a wheelchair.

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Typical paver walkway.



Grate openings in the direction of travel exceed width standards. Curb ramp lacks truncated domes and excessive cross slopes exist across the entire width of the ramp.



Walkway is less than 48" in width and has excessive cross slopes.



Ramp lacks truncated domes.

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Grate openings in the direction of travel exceed 1/2". Due to the location there is no specific direction of travel. Excessive cross slopes exist at drains. Slopes must not



Excessive cross slopes exist at drains. Slopes must not exceed 1:48 (2%).



Grate and cross slopes are non-compliant.



Excessive vertical change exists in walkway.

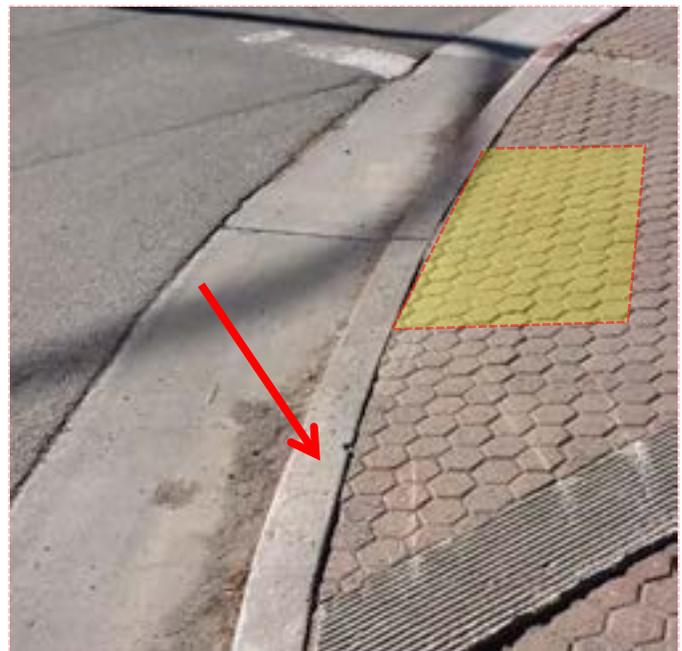


3: CURB RAMPS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
3: Curb Ramps			
3.A: Transition	The transition of the off-site curb ramp does not have a flush transition to the road or gutter that is free of abrupt changes.	Reconstruct curb ramp to meet accessibility requirements.	Done
3.B: Counter Slope	The terminus where the on-site walkway adjoins the public path of travel is 5.6% (exceeds 5%).	Reconstruct the facility to not exceed 5% slope.	Long-term
3.C: Side Flare Slope	The Coon Street curb ramp does not provide a landing where flared side edges have a slope of 8.3% or less (measured along the curb).	Provide a curb ramp with flared side edges that have a slope of 8.3% or less when measured along the curb. *Note: Evaluate if issue was corrected with new streetscape improvements in 2014-2015.	Done
3.D: Detectable Warning	The curb ramps do not have detectable warnings.	Install appropriate detectable warnings on the curb ramps. *Note: Evaluate if issue was corrected with new streetscape improvements in 2014-2015.	Done
3.E: Straight Curb	No 24" segment of straight curb is located on each side of the diagonal curb ramp.	Reconstruct curb ramp to meet accessibility requirements. *Note: Evaluate if issue was corrected with new streetscape improvements in 2014-2015.	Done



Curb ramp lacks truncated domes and excessive cross slopes exist across the entire width of the ramp.



The curb ramp lacks truncated domes and lacks a 24" straight section at the flared edges (typical for all curb ramps).

4: DRINKING FOUNTAINS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
4: Drinking Fountains			
4.A: Drinking Fountains	Only one "low" drinking fountain exists with no "high" drinking fountain available.	Provide a "high" drinking fountain that is accessible to persons who have difficulty bending or stooping.	Mid-term
4.B: Clear Floor Space	The clear space is not level and contains a vertical transition greater than ¼" at the concrete utility box directly below the drinking fountain.	Reconstruct clear space to provide a level area (less the 2%) with vertical transitions less than ¼".	Mid-term
4.C: Protruding Objects	The free-standing drinking fountain projects into the path of travel more than 4" and is not protected by side rails for cane detection.	Install rails to allow for cane detection or replace drinking fountain and set outside of the path of travel so that it is not considered a protruding object.	Mid-term
4.D: Operation	The drinking fountain controls require more than 5 lbs. of force to operate.	Replace drinking fountain with a model that meets accessibility standards.	Mid-term
4.E: Spigot	The spigot and water flow is more than 5" from the front of the drinking fountain.	Replace drinking fountain with a model that meets accessibility standards.	Mid-term



Drinking fountain creates a protruding object. Only a "low" drinking fountain is provided instead of both a "high" and "low" fountain. The clear space is not level and contains a transition greater than ¼" at the concrete utility box.



The spigot and water flow is more than 5" from the front of the drinking fountain and requires more than 5 lbs. of force to operate.

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ADA SELF-EVALUATION AND TRANSITION PLAN



5: STAIRS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
5: Stairs			
5.A: Color Strip	There is no solid contrasting color stripe 2" wide on stair nosing.	Provide a solid contrasting color stripe 2" wide parallel to and not more than 1" away from the nosing on the upper approach and all threads of the stairway.	Short-term
5.B: Bottom Landing	No firm and stable landing is present at the bottom of the stairs.	Provide a firm and stable landing at the bottom of the stair.	Long-term
5.C: Surface	Sand accumulating on the stair causes the surface to not be slip resistant.	Address maintenance procedures to remove sand on a scheduled basis.	Short-term



Stairs lack a 2" contrasting band 1" back from nosing and sand causes the surface to not be slip resistant.



The bottom of the stairs requires a firm and stable landing.

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ADA SELF-EVALUATION AND TRANSITION PLAN



6: SITE FURNISHINGS & AMENITIES

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
KINGS BEACH PLAZA			
7: Site Furnishings & Amenities			
6.A: Amenities on Accessible Routes	<p>Trash receptacle is not on an accessible path at the picnic area intended to be the accessible picnic area.</p> <p>Trash receptacles are generally not on an accessible path or the path does not extend to the trash receptacle.</p>	Provide amenities along an accessible route of travel where possible or provide an accessible route of travel to the amenities.	Mid-term



Typical accessible picnic table provides adequate knee and toe space at the end of the table.



Trash receptacle is not on an accessible path at the picnic area intended to be the accessible picnic site.



Trash receptacle is not on an accessible path of travel (typical for most trash receptacles).



Accessible path does not extend to the trash receptacle.



NORTH TAHOE BEACH

FACILITY DESCRIPTION

Constructed in 2003, North Tahoe Beach is a 2.7 acre site that includes 540 feet of shoreline. It is located west of Kings Beach on the North Shore of Lake Tahoe at the intersection of Highway 267 and Highway 28. A restoration and recreational facility, the site includes improved parking, picnic areas with barbecues, a group pavilion with barbecues, concrete paver walkway/promenade, benches, sand volleyball courts, horseshoe pits, a public restroom and rinse-off showers. Sidewalks alongside North Lake Blvd were constructed as part of the improvement plans and are both partially on Conservancy property and in sections completely on Conservancy property.

Accessibility issues include but are not limited to the following areas:

1. Parking
2. Accessible routes of travel: public rights of way
3. Accessible routes of travel: on-site
4. Curb ramps
5. Restroom modifications
6. Signage
7. Site furnishings and amenities
8. Pavilion kitchen area modifications



North Tahoe Beach Group Pavilion



North Tahoe Beach Restroom

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ADA SELF-EVALUATION AND TRANSITION PLAN



1: PARKING

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
1: Parking			
1.A: Location of Accessible Spaces	Parking spaces are not on the shortest possible route to a majority of built facilities.	Restripe parking spaces to locate accessible spaces near the restroom facilities.	Done
1.B: Cross Slope and Surface	Cross slope in accessible aisle is greater than 2% (2.2%). Uneven surface and inconsistent striping of accessible spaces due, respectively, to parking space location over concrete storm filter vault and the inconsistent replacement of the manhole cover.	With the relocation of parking spaces to the restroom area, re-grade parking area if needed so that cross slope does not exceed 2% and provide appropriate striping.	Long-term
1.C: Lettering	The words "NO PARKING" are not provided in the access aisle.	Revise access aisle striping to include required lettering at appropriate dimensions.	Done



Site Plan – Accessible Parking Location



Cross slopes exceed 2%. Surface paint is difficult to maintain over storm drain facilities

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ADA SELF-EVALUATION AND TRANSITION PLAN



*Excessive cross slopes in parking area due to drain.
Striped area lacks the words "NO PARKING".*



*Border should be blue. Diagonal lines can be blue or white,
whichever has better contrast.*

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ADA SELF-EVALUATION AND TRANSITION PLAN



2: ACCESSIBLE ROUTE OF TRAVEL – PUBLIC RIGHTS OF WAY

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
2: Accessible Route of Travel – Public Rights of Way			
2.A: Curb Ramp Cross Slope	Cross slope varies at curb ramp on the west side of the drive entrance. (7.4% in some areas)	Regrade curb ramp so that cross slope does not exceed 2%.	Mid-term
2.B: Changes in Level	Changes in walkway levels are greater than ¼" along the concrete paver walkway at certain transition points between the pavers and adjacent concrete walks and utility inlets and utility access boxes.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Mid-term



Site Plan – Accessible Route of Travel (Public ROW)



Excessive vertical change exists at the walk's terminus.



Differential settling causes both non-conforming cross slopes as well as excessive vertical change.



3: ACCESSIBLE ROUTE OF TRAVEL – ON-SITE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
3: Accessible Route of Travel – On Site			
3.A: Overlap with route for general public	The path that links to the sand volleyball courts does not coincide with the route for the general public. It requires use of the route within the public rights of way which leads to a viewing area.	Provide a more direct accessible route to the sand volleyball courts.	Long-term
3.B: Connection of Facilities	No accessible route connects a user to the beach, to the sand volleyball courts, or to the horseshoe pits.	Provide an accessible route that connects all accessible facilities on the site to one another and to site amenities such as waste receptacles, picnic tables and barbecues.	Long-term
3.C: Width	Accessible route between picnic areas in the pavilion is less than 36".	Relocate tables to provide an accessible route of travel at least 48" between picnic tables.	Long-term
3.D: Cross Slope	The cross slope of the primary walk and paved area under the pavilion exceeds 2%. Cross slopes vary as follows: <ul style="list-style-type: none"> • South side of the parking area: 2.1%-3.3% • North-south section connecting restrooms to the pavilion: 3.1%-4.0% • Pavilion paved area: 2.1%-3.7% (potentially from settling caused by erosion due to irrigation) 	Regrade walkways and paved area under pavilion to ensure no cross slopes exceed 2%. Stabilize soil and revise irrigation design at southern corner of pavilion to reduce erosion potential.	Long-term
3.E: Running Slope	Walkway connecting the pavilion to the restrooms has a section of slope measuring 5.5%. No handrails are provided.	Regrade walkway to ensure running slope does not exceed 5% or revise walkway to create a ramp that meets ADA requirements, including handrails.	Long-term
3.F: Walkway Change in Level	Walkway levels change greater than ¼" along the concrete paver walkway at certain transition points between the pavers and adjacent concrete walks and utility inlets and utility access boxes.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Long-term
3.G: Change in Level Greater than 4"	Excessive erosion due to irrigation at the pavilion's north corner has created a change in level greater than 4" between the paving and the adjacent surface.	Regrade adjacent surface to create a transition between pedestrian areas that is less than 4" or provide a 6" high warning curb or a 42" high guard or handrail.	Long-term
3.H: Hazardous Vehicular Areas – Detectable Warnings	The curb ramp servicing the accessible parking, the turn-around space adjacent to the restroom facility and the walkway connection to the drive aisle at the terminus of the drive aisle/entry do not have adequate separation or detectable warnings.	Where pedestrian areas cross or adjoin a vehicular way, either separate the walkway from the vehicular way with a curb, a railing or other element or provide a continuous detectable warning at least 36" wide.	Long-term

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Site Plan – Accessible Route of Travel: On Site



Typical path.



Walkway lacks truncated domes at flush transition to vehicular way.

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An accessible path is not provided to the beach.



Path terminus has excessive slopes and vertical transition.



Terminus of improve path of travel has excessive vertical drop. If not considered part of the accessible route, a sign with the ISA symbol is required to direct individuals to an accessible route.



The path of travel that leads to the volleyball courts does not coincide with the path available to the general public.

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Horseshoe pits are not on an accessible route.



Picnic tables in the lawn area are not on an accessible route or an accessible surface.



Barbecue and trash receptacle are not on an accessible path.



4: CURB RAMPS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
4: Curb Ramps			
4.A: Slope	The slope of the curb ramp leading to the accessible parking access aisle exceeds 11.2%.	Replace curb ramp to ensure slope does not exceed 8.3%.	Mid-term
4.B: Transition	Transitions of curb ramps to the road are not free of abrupt changes.	Replace curb ramp and blend transition to the road so that the adjacent surfaces shall be at the same level.	Mid-term
4.C: Counter Slope	Running slope of the road, gutter or accessible route adjoining the ramp is greater than 5%.	Regrade adjoining road, gutter or accessible route so that the running slope does not exceed 5%.	Mid-term
4.D: Detectable Warning	Curb ramps do not have detectable warnings.	Install ADA compliant detectable warnings on curb ramps.	Mid-term
4.E: Straight Curb	Diagonal curb ramps with flared sides do not have a 24" segment of straight curb located on each side of the curb ramp within the marked crossing.	Provide 24" segments of straight curb on each side of the curb ramp within the marked crossing.	Mid-term
4.F: Cross Slope	The path of travel crossing the drive entrance includes a V-gutter. The cross slopes created by the V-gutter exceed 2%.	Regrade and replace v-gutter if possible to create a path of travel with a cross slope that does not exceed 2%. Coordination with Placer County public works may be required. Consider creating a new curb cut and pedestrian crossing that does not coincide with the v-gutter.	Mid-term



Ramp/flush transition lacks truncated domes. The V-gutter cross slope exceeds 2%.



Walkway lacks truncated domes at flush transition to vehicular way. Excessive slopes exist at rolled portion of curb.

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ADA SELF-EVALUATION AND TRANSITION PLAN



Walkway lacks truncated domes at flush transition to vehicular way.



V-gutter cross slopes exceed 2%. Curb ramp lacks truncated domes on both sides of the vehicular way. The property line appears to be at the back of the curb placing the walkway on Conservancy property.



Ramp lacks truncated domes at flush transition to vehicular way. Slope of gutter exceeds 5%.



Cross slope exceeds 2% at flared edges. Walkway lacks truncated domes at flush transition to vehicular way. The property line appears to be at the back of curb placing the walkway on Conservancy property.



5: RESTROOMS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
5: Restrooms			
5.A: Number of Accessible Units Provided	Less than 50% of the available single user toilet rooms are accessible.	Identify if an exception was granted at the time the plans were approved in 2003. If the facilities are altered DSA may require additional restrooms to be added.	Long-term
5.B: Door Operating Effort	Door requires greater than 5 lbs. of force to open.	Recalibrate door pressure so that it does not exceed 5 lbs. of force.	Short-term
5.C: Water Closet Seat	There is 19 ½" between the top of the water closet seat and the finish floor.	Replace water closet seat or water closet so that the distance between the top of the water closet seat and the finish floor is between 17" and 19".	Mid-term
5.D: Rear Grab Bar	The rear grab bar only extends 21" on one of the sides. (It extends 15" on the other side.)	Adjust grab bar location so that it extends from the centerline of the water closet a minimum of 12" on one side and a minimum of 24" on the other side.	Short-term
5.E: Lavatory Rim Height	The lavatory rim or counter surface is higher than 34" above finish floor. (34 ½")	Lower the lavatory so that the rim or counter surface is lower than 34" above finish floor.	Mid-term
5.F: Dispensers Operating Height	The electrical outlet adjacent to the lavatory is 41 ½" to the center. The highest operable part should be at 40".	Lower the electrical outlet to be no higher than 40" above finish floor.	Mid-term
5.G: Door Threshold	The threshold of the accessible restroom exceeds the ½" maximum requirement.	Adjust the finish grade of the surrounding surfaces to provide a threshold that does not exceed ½" vertical rise. Potential solutions include: <ul style="list-style-type: none"> • Raise the entire landing at the exterior walk to include the 48" approach side plus the 12" strike side landing, or • Lower the level of the interior floor surface by removing the tile and lowering the associated drain as well as all fixtures and accessories adversely affected. 	Short-term
5.H: Slope	The slope of the floor in the accessible restroom exceeds 2% as it slopes to the drain.	Remove the tile and adjust slope of floor to the drain so that it does not exceed 2%. Check all fixtures and accessories to ensure they are not adversely affected by the modification or adjust accordingly.	Long-term
5.I: Drinking Fountain	The drinking fountain is not in an alcove nor does it have rails for cane detection.	Install rails and ensure the rails do not encroach into door clearance.	Mid-term

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ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
5: Restrooms			
5.J: Exterior Rinse Shower	Exterior shower does not have folding seats, appropriate grab bar configurations or a flexible 59" long shower spray unit that can be used in a fixed position and as a hand-held unit.	Identify the intended purpose of the lower shower head. If this is a foot rinse shower, CTC should adopt standards for such elements in its program and ensure the standards comply with the related similar elements in the CBC and/or ADA.	Long-term



Threshold vertical rise exceeds 1/2" overall maximum. An extended sloped transition is not possible as landings at doors must be a maximum of 2%. Potential solutions include raising the entire landing at the exterior walk or lowering the level of the interior floor as well as the associated fixtures and accessories adversely affected.



Slope at drain exceeds slope requirements.



Electrical outlet exceeds maximum height above finish floor (41 1/2" instead of 40" allowable maximum).



Grab bar is incorrectly offset. A 12" and 24" offset is required. The toilet seat exceeds maximum height above finish floor (19 1/2" instead of 19" maximum).

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ADA SELF-EVALUATION AND TRANSITION PLAN



Control is set approximately 1 ½" below the grab bar as required, but it may be difficult to operate.



It appears that at the time of construction this low shower may have been intended for a wheelchair user but this does not comply with either the CBC or ADA.



Outdoor showers have a number of non-conforming items, including slope, lack of folding benches and lack of a shower spray unit that can be used either fixed or hand-held. The hi-low drinking fountain is not in an alcove nor does it have rails for cane detection on either side. Should rails be installed, ensure the rails do not encroach into door clearance.

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6: SIGNAGE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
6: Signage			
6.A: Accessible Restroom Signage	There are no signs at the adjacent non-accessible restrooms indicating where the accessible restroom is located.	Provide directional signage at non-accessible restrooms to indicate the location/route to accessible restrooms.	Short-term
6.B: Accessible Route Signage	There are no signs at the major junctions of an accessible route and the regular circulation path to indicate the accessible route.	Provide directional signage at the major junctions of accessible routes and regular circulation paths to indicate the accessible route.	Short-term
6.C: Accessible Parking Signage	A tow-away sign is not posted at the parking entry or adjacent and visible from each accessible stall.	Provide a tow-away sign with required language.	Done
6.D: Accessible Parking Signage	The sign indicating the minimum fine is outdated and reads \$100 instead of \$250.	Replace with corrected fee amount.	Done
6.E: Identification Symbols	Restroom signage is not compliant. The geometric symbol's circle does not contrast with the triangle and the identification sign's braille is placed to the side of the sign instead of below the tactile characters.	Replace the geometric symbol so that its contrast is distinctly different than the contrast with the door. Replace the identification sign with one in which the braille is below the text between 3/8" - 1/2" either centered or left justified.	Short-term



Fine should read \$250, not \$100. Vandalized sign is not legible.

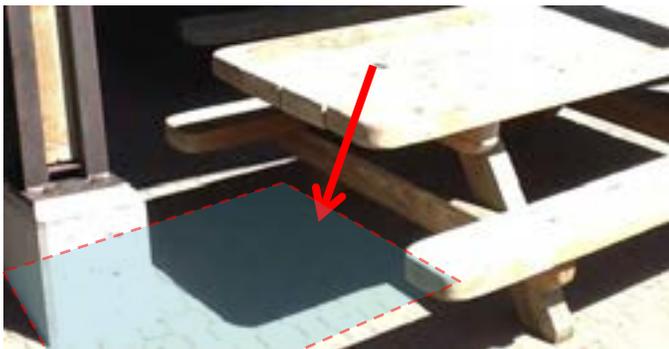


Braille is required to be below the text between 3/8" - 1/2" either center or left justified, not set to the side.



7: SITE FURNISHINGS & AMENITIES

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
7: Site Furnishings & Amenities			
7.A: Picnic Tables	Adequate clear floor space is around the accessible picnic table in the pavilion.	Move the accessible picnic table to allow for 48" clear space from the edge of the table.	Short-term
7.B: Picnic Tables	Accessible picnic table does not provide 30"x48" wheelchair space nor the allowed knee space within those limits.	Replace picnic table with a table that meets accessibility requirements.	Short-term
7.C: Picnic Tables	No accessible picnic table is provided along an accessible route other than within the group pavilion.	Provide at least one accessible picnic table and one additional table for each 20 tables or fraction thereof. The number of overall tables should be separated into either group picnic areas or individual picnic areas and by the type of experience. The table and accompanying amenities should be on an accessible route with appropriate clear space.	Short-term



Inadequate clear space is provided on the approach to the accessible table. An accessible picnic table must provide a 30"x48" wheelchair space and provide for the allowed knee space within those limits.



The current layout does not provide the required 36" clear space between and around the tables.



These inaccessible picnic tables and barbecue are provided in an alternative area from the accessible picnic tables and may offer a different experience.



8: PAVILION KITCHEN AREA

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
NORTH TAHOE BEACH			
8: Pavilion-Kitchen Area			
8.A: Pavilion Sink – Protruding Object	Pavilion sink extends into the path of travel without sides or posts for cane detection.	Incorporate sides or post into sink design to allow for cane detection. Ensure a 30" forward approach is provided.	Long-term
8.B: Pavilion Sink – Knee Clearance	Bottom of sink is 26 ½" above finish floor; less than the 27" minimum required clear for knee space.	Replace sink design with a sink that has a minimum 27" clear space under the sink; maximum 34" height for the top of the counter.	Long-term
8.C: Pavilion Counter – Approach/Knee Space	Counter at the built-in barbecue does not have adequate knee space or, as an alternative, a 36" long parallel approach (only 32" long).	Revise counter to either provide appropriate knee space with clear approach space or extend the counter 4".	Long-term
8.D: Pavilion Counter – Electrical Outlets Obstructed	Electrical outlets placed under counters of built-in barbecue are difficult to reach as they are recessed under the counter (not specifically addressed in CBC or ADA, but it is generally accepted that for wheelchair users it is ergonomically difficult to reach under obstructions).	Consider relocating electrical outlets to a location not under a counter and within appropriate height requirements (minimum 15" above finish floor).	Long-term



Knee clearance to the bottom of the sink counter is only 26 ½", not the required 27" minimum. The sink is also considered a protruding object as it lacks sides or posts to allow for cane detection.



The counters do not provide adequate knee space and the far right counter does not allow for a 36" parallel approach. The electric outlets are set at appropriate height; however, it is ergonomically difficult for wheelchair users to reach under obstructions as designed.



PATTON LANDING

FACILITY DESCRIPTION

Patton Landing provides recreation facilities and a storm water improvement site. Facilities include public beach/lake access via a timber boardwalk, concrete paver walkway, parking, non-motorized boat launch, interpretive signage, public restrooms, benches, and picnic tables and barbecues. In 1998 DGS constructed the facility which is located in Carnelian Bay along SR 28/North Lake Tahoe Boulevard. A public bus shelter was constructed on the northwest corner of the site along North Lake Boulevard. The shelter is on Conservancy property an off the public right-of-way.

Patton Landing also offers a privately-operated retail/deli concessionaire with attached public restrooms and outdoor dining area. Under normal lease conditions the tenant is responsible for upgrading and maintaining accessible elements within the limits of its leased area. Common spaces, such as restrooms and site elements, are the responsibility of the landlord. Since the Conservancy did not identify the tenant's specific leased area the Access Compliance Evaluation Report includes barriers and recommendations on both the interior and exterior of the building.

Accessibility issues include but are not limited to the following areas:

1. Parking
2. Accessible routes of travel: public rights of way
3. Accessible routes of travel: on-site
4. Curb ramps
5. Drinking fountains
6. Stairs
7. Building entrances and exits
8. Room spaces
9. Restroom modifications
10. Signage
11. Site furnishings and amenities, including the bus stop



Privately-operated retail/deli concessionaire with attached public restrooms and outdoor dining area at Patton Landing.

CALIFORNIA TAHOE CONSERVANCY

ADA SELF-EVALUATION AND TRANSITION PLAN



1: PARKING

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
1: Parking			
1.A: Level Surface	A small area in front of the parking area slightly exceeds 2% slope (2.4%).	Reconstruct paved area to not exceed 2% slope.	Long-term
1.B: Striping	The access aisle is incorrectly painted. The border is painted in white instead blue. The diagonal lines may be either white or blue (whichever provides the most contrast). Typically white provides better contrast on asphalt and blue provides better contrast on concrete.	Repaint access aisle with a blue border and the appropriate contrasting color for diagonal lines.	Short-term



An excessive cross slope creates a bird bath area in the accessible parking space. The sign lacks the "Minimum Fine \$250" text.



The border of the accessible aisle should be blue.

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2: ACCESSIBLE ROUTE OF TRAVEL – PUBLIC RIGHTS OF WAY

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
2: Accessible Route of Travel – Public Rights of Way			
2.A: Cross Slope	Excessive cross slopes ranging from 2.1% to 3.5% exist along various locations along North Lake Tahoe Boulevard.	Reconstruct walkway to not exceed 2% cross slope.	Long-term
2.B: Running Slope	The running slope exceeds 5% at areas intended to be curb ramps. However the curb ramps do not comply.	Reconstruct curb ramps. (See curb ramps.)	Long-term
2.C: Changes in Level	Changes in walkway levels are greater than ¼" at transitions from paver to concrete or asphalt due to settling. Transitions at concrete utility inlets or concrete utility access boxes are not compliant. The terminus of the paver system at either end of the site exceeds ¼" where the paver system transitions to the adjacent surface. A few areas of general settlement have created sunken areas that are non-compliant.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Long-term
2.D: Width	Plants reduce the clear path of travel to less than 48".	Trim plants to maintain minimum clear path of travel along walkways.	Short-term
2.E: Detectable Warning	Walkway terminates into a decomposed granite path that is not stable or slip resistant and does not have a detectable warning system at its flush transition to the roadway.	Replace decomposed granite with a firm and stable material and install truncated domes.	Mid-term



Site Plan: Location of accessible routes of travel in the public rights of way.

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Excessive vertical change where pavers abut concrete curbs. Pavers are degraded in areas due to effects of snow and ice.



Walkway transitions to a dirt/decomposed granite material that is not stable or slip resistant.



Plants reduce the width of the accessible route to less than 48".



A detectable warning system or truncated domes are required at flush transitions from walkways to vehicular ways.

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3: ACCESSIBLE ROUTE OF TRAVEL – ON-SITE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
3: Accessible Route of Travel – On Site			
3.A: Facilities Connected	<p>An accessible route is not provided to the non-motorized boat launch.</p> <p>An accessible route is not provided to nearby picnic tables near the beach access point.</p> <p>Accessible access to the beach is not provided since the vertical change at the boardwalk's terminus to the beach exceeds ¼".</p>	<p>Provide an accessible route to the non-motorized boat launch.</p> <p>Provide an accessible route from the boat loading area to the lake.</p> <p>For each type of picnic experience, provide an accessible route to at least one accessible picnic table and one additional table for each 20 tables or fraction thereof.</p> <p>Provide a transition from the boardwalk to the beach that does not exceed ¼". Modify the terminus to provide a flush transition to the beach.</p>	Long-term
3.B: Cross Slope	<p>A few areas along the walkway leading to North Tahoe Boulevard have excessive cross slopes ranging from 2.1% to 3.0%.</p> <p>At the rear of the concessionaire building there is a patio area that serves as a dining area. Excessive cross slopes in this area range from 2.1% to 3.8%.</p>	Reconstruct walkway and patio to not exceed 2% cross slope.	Long-term
3.C: Running Slope	The curb ramp leading to the accessible parking access aisle is 8.5%.	Reconstruct curb ramp. (See curb ramps.)	Mid-term
3.D: Changes in Level	<p>Changes in walkway levels are greater than ¼" at transitions from paver to concrete or asphalt due to settling.</p> <p>The rough nature and degradation of the timber boardwalk's wood has created vertical changes greater than ¼".</p>	<p>Replace or reinstall the sections of walkway to provide transitions less than ¼".</p> <p>Replace select boardwalk timbers to provide vertical changes no greater than ¼".</p>	Long-term
3.E: Grates	The smaller dimension of a grate is greater than ½", and the long dimensions of rectangular gaps are not placed perpendicular to the usual direction of travel.	Replace non-compliant grates with grates that meet accessibility requirements.	Short-term
3.F: Detectable Warning	Detectable warnings are not provided where walkway transitions to vehicular way.	Install appropriate detectable warnings on walkways that transition vehicular ways.	Mid-term
3.G: Path of Travel	Storage reduces the clear path of travel in certain locations.	Ensure that the clear path of travel is kept clear from storage. A minimum 48" clear width is required for exterior walks.	Short-term

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Site Plan: Location of accessible routes of travel on site.



Storage reduces the path of travel to less than 48" minimum clear.



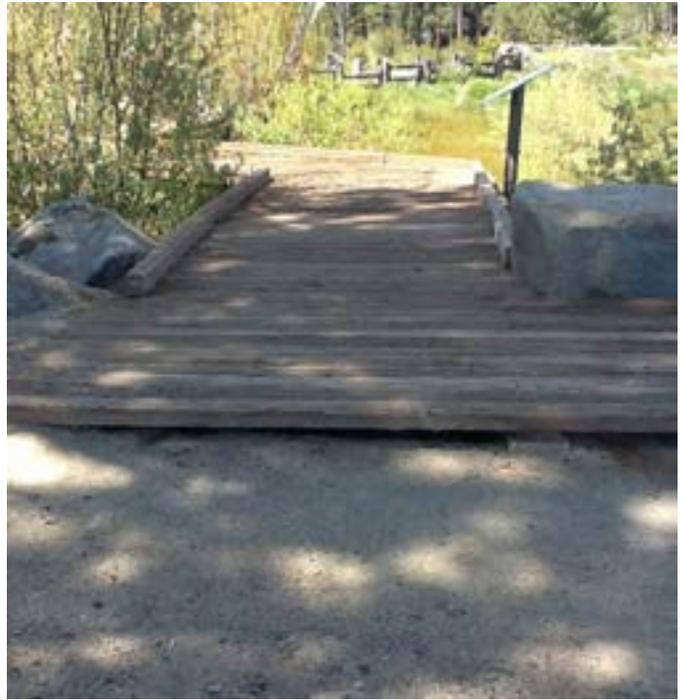
Flush transition to vehicular way lacks truncated domes.

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The wheelchair observation space is appropriately sized at 30"x48". However, this would not be considered an accessible beach entrance when judged against other standards since it lacks the appropriate transition from boardwalk to beach.



The terminus of the boardwalk and the accessible path to the beach is in excess of 1/2" vertical rise making the beach inaccessible.



Boardwalk wood members have decayed creating excessive vertical change leading to the lake access.



Excessive vertical change exists between the pavers and concrete curb.



4: CURB RAMPS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
4: Curb Ramps			
4.A: Slope	The slope of the curb ramp leading to the accessible parking access aisle exceeds 8.3%. It is 8.5%.	Reconstruct curb ramp to not exceed 8.3%.	Mid-term
4.B: Transition	The transition of the off-site curb ramp does not have a flush transition to the road or gutter that is free of abrupt changes.	Reconstruct curb ramp to meet accessibility requirements.	Mid-term
4.C: Counter Slope	The terminus where the on-site walkway adjoins the public path of travel is 5.6% (exceeds 5%).	Reconstruct the facility to not exceed 5% slope.	Mid-term
4.D: Detectable Warning	The curb ramps do not have detectable warnings.	Install appropriate detectable warnings on the curb ramps.	Mid-term
4.E: Straight Curb	No 24" segment of straight curb is located on each side of the diagonal curb ramp.	Reconstruct curb ramp to meet accessibility requirements.	Mid-term



Site Plan – Curb Ramp Locations



The curb ramp lacks truncated domes and does not meet other accessibility requirements.

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5: DRINKING FOUNTAINS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
5: Drinking Fountains			
5.A: Drinking Fountains	Only one "low" drinking fountain exists.	Provide a "high" drinking fountain that is accessible to persons who have difficulty bending or stooping.	Mid-term
5.B: Protruding Objects	The wall-mounted drinking fountain is only protected by a rail on one side and is considered a protruding object.	Install an additional side rail to meet accessibility requirements for protruding objects.	Mid-term



No "high" drinking fountain provided. Only a "low" fountain provided. Drinking fountain is considered a protruding object because it is not installed in an alcove or rails are not provided on both sides for cane detection.

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6: STAIRS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
6: Stairs			
6.A: Landing Materials	The bottom landing is constructed of cobble and should be concrete.	Reconstruct the bottom landing with concrete.	Long-term
6.B: Top Landing	A rug was placed at the top landing that was not attached. The slope of the top landing was 3.7%.	Attach rug to the top landing. Reconstruct top landing to be level to meet accessibility requirements.	Long-term



The stair's bottom landing is not level, firm or stable and the top landing is not level and the rug is not attached.

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7: BUILDING ENTRANCES AND EXITS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
7: Building Entrances and Exits			
7.A: Entrance Sign	The accessible entrance is not identified by an ISA.	Provide an ISA to designate the accessible entrances.	Short-term
7.B: Doors	At least one accessible door is not provided at each accessible entrance.	Address barrier issue 7.C to provide at least one accessible door at each accessible entrance.	Long-term
7.C: Door Operating Effort	Fifteen pounds of force is required to operate the door (exceeds the maximum 5 lbs (fire doors may have up to 15 lbs to achieve positive latching).	Adjust door closure or replace door to require no more than 5 lbs of force to operate the door.	Short-term
7.D: Rugs	Rugs are not firmly attached at building entrances.	Firmly attach rugs at entrances.	Short-term



Primary entrance lacks the International Symbol of Accessibility (ISA) sign.



The rug is not firmly attached and the door operating effort requires more than 5 lbs of force.



8: ROOM SPACES

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
8: Room Spaces			
8.A: Accessible Route	An accessible route of travel does not connect an accessible entrance to the room or space since no accessible entrance is signed or provide.	Provide an accessible entrance and an accessible route that connect the accessible entrance to the room.	Long-term
8.A: Accessible Route	Fifteen pounds of force is required to operate the door (exceeds the maximum 5 lbs (fire doors may have up to 15 lbs to achieve positive latching).	Adjust door closure or replace door to require no more than 5 lbs of force to operate the door.	Short-term
8.C: Aisles	When the facility was surveyed the tenant was in the process of small modifications. The space contained small retail displays and tables for dining but the modifications were not complete.	Ensure there is at least 36" between dining tables and retail aisles when serving cross aisles are on one side.	Short-term
8.D: U-Turn	When the facility was surveyed the tenant was in the process of small modifications. The space contained small retail displays and tables for dining but the modifications were not complete.	Ensure that where the accessible route of travel makes a U-turn around an obstacle which is less than 48" wide, the accessible route should be at least 42" wide o the approaches and 48" wide in the turn.	Short-term
8.E: Carpet	The rugs used at entries and exits were not firmly attached.	Firmly attach rugs.	Short-term
8.F: Level Changes	At the transition from concrete to tile entry a vertical change greater than ¼" exists.	Maintain an overall change less than ½" and provide an aluminum or rubber transition slip to bevel the transition with a slope no greater than 1:2.	Short-term
8.G: Fixed/Built-in Seating, Tables or Counters	Two counters exist with the top of the counter greater than 34" above finish floor. No lower counter or clear space for a wheelchair space is provided.	Provide a lower counter that meets accessibility requirements and provide a 30"X48" clear space which overlaps an accessible route of travel.	Short-term
8.H: Knee Space	No wheelchair accessible seating spaces exist.	Provide accessible seating space at counter areas. Provide tables with 30" wide clear spaces.	Short-term
8.I: Protruding Objects	Small dining tables and the condiment counter exist that protrude more than 4" from the wall.	Provide an end panel for can detection down to a minimum of 27" above the floor on both ends. The panel may extend lower; however, it may not be higher than 27".	Short-term
8.J: Controls	The self-serve shelf for condiments causes the condiments/drink dispensers to be over the allowed reach limits.	Ensure employees are always available to assist to allow for an exception to the variance.	Short-term
8.K: Kitchen Counter	A rental table located on the exterior with its top 41 ½" above finish floor, exceeding the 34" maximum.	Lower the rental table to 34" height or provide an accessible portion of the rental table at the appropriate height.	Short-term

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Counter height is greater than 34" with no lower accessible portion.



Table height of 31" meets requirements but the clear space between legs is only 29", less than the required minimum 30".



The counter is taller than 34" with no lower accessible portion. An end panel is required down to 27" above finish floor for cane detection. Shelving provides the cane detection on the far end.



Outdoor counter height is greater than 34" with no lower accessible portion.

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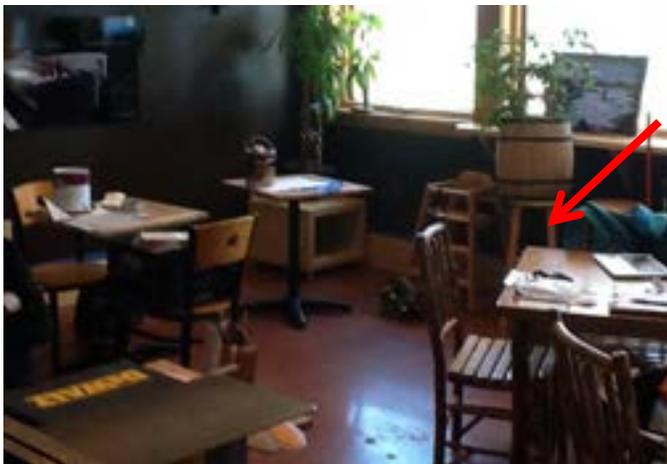
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The standing eating area does not provide a lower section (34" maximum height) for wheelchair users.



Rug is not firmly attached and no ISA is provided at the entry. A tactile and braille "EXIT" sign should be provided.



An aisle with 36" minimum clear width must be provided between tables.



The threshold's vertical change exceeds more than 1/2" overall. Provide a rubber or aluminum transition strip.

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9: RESTROOMS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
9: Restrooms			
9.A: Door Operating Effort	Sixteen pounds of force is required to operate the door (exceeds the maximum 5 lbs (fire doors may have up to 15 lbs to achieve positive latching).	Adjust door closure or replace door to require no more than 5 lbs of force to operate the door.	Short-term
9.B: Maneuvering Space	A potted plant was placed in the clear space, reducing required 28" width required for a side transfer to the water closet.	Remove the potted plant from the clear space.	Short-term
9.C: Water Closet Location	The centerline of the water closet is 19" from the wall, not the required 18".	Adjust water closet so that its centerline is 18" from the wall.	Short-term
9.D: Water Closet Flush Controls	The push button is centered behind the toilet and controls exceed 5 lbs. operating pressure.	Replace and relocate push button to meet accessibility requirements and be located on the wide side of the water closet where clear floor space is provided.	Short-term
9.E: Toilet Paper Dispenser	The center of the toilet dispenser is 29" above finish floor. (Note this requirement has changed in the 2013 CBC. 2010 standard was for dispenser to be centered at least 19" above finish floor. 2013 standard is for the dispenser to be below the grab bar, 19" minimum above the finish floor and not located behind the grab bar. The 2013 standard also now states the dispenser should also be 7" minimum and 9" maximum in front of the water closet.) The dispenser is 12" in front of the leading edge of the toilet.	Reinstall/replace toilet dispenser to meet accessibility requirements: distance from the front edge of the toilet to the centerline of the toilet paper dispenser is to be 7" minimum and 9" maximum. The outlet of the dispenser shall be below the grab bar, 19" minimum above the finish floor.	Short-term
9.F: Grab Bar Wall Clearance	The space between the grab bar and the wall is less than 1-1/2" where the toilet paper dispenser passes behind the grab bar.	Recess the toilet paper dispenser or replace with a unit that allows for 1-1/2" between the grab bar and the wall.	Short-term
9.G: Lavatory Knee Clearance	Knee clearance does not extend 8" from the front edge of the lavatory.	Replace lavatory or adjust stainless steel shroud over piping so that it allows for the required knee clearance.	Mid-term

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The flush controls are centered on the toilet instead of being located on the fixture's wide side. The potted plant should not be located in the fixture's clear space.



The toilet paper/seat cover dispenser reduces the clear space behind the grab bar to less than 1-1/2". The top roll of toilet paper is not compliant. Should the lower roll be empty, the upper roll would not comply.



The metal shroud invades the knee space so that the knee clearance does not extend 8" from the front edge of the lavatory.

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10: SIGNAGE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
10: Signage			
10.A: Directional and Informational Signs	No room signs exist other than the restroom signs.	Provide accessibility-compliant ISA room signs for concessionaire building.	Short-term
10.B: Exit Door Signs	No tactile/braille exit sign with the word "EXIT" exists at each grade level exterior exit door for the concessionaire building.	Provide tactile/braille EXIT sign for each grade level exterior exit door of the concessionaire building.	Short-term
10.C: Exit Door Signs	No tactile/braille exit sign with the words "EXIT ROUTE" exists at each exit access door from an interior room that is required to have a visual exit sign for the concessionaire building.	Provide tactile/braille EXIT ROUTE sign for the exit access door that is required to have a visual exit sign for the concessionaire building.	Short-term
10.D: Door Sign	Braille is located on the restroom door sign and should not be.	Remove or cover braille located on the door sign or replace door sign.	Short-term
10.E: Raised and Braille Characters	The Grade 2 braille translation is "Restroom". There is no indication of whether the restroom is unisex or otherwise.	Provide new Grade 2 braille translation that matches the door's identification text (Men's or Women's/Unisex).	Short-term
10.F: Pictograms	The pictogram indicates both men and women (unisex) facilities. The raised characters indicated "Restroom". Pictograms are not required, but if provided, the text must match the pictogram.	Provide new Grade 2 braille translation that matches the door's pictogram (Men's or Women's or Unisex).	Short-term
10.G: Tow-away Sign	A tow-away sign is not posted at the parking entry or adjacent and visible from each accessible stall.	Provide a tow-away sign with required language.	Short-term
10.H: Accessible Parking Signage	The sign lacks the minimum fine amount of \$250.	Add a minimum fee amount of \$250 to sign.	Short-term
10.I: Accessible Routes Signage	Signs are not provided at every major junction where the accessible route of travel diverges from the regular circulation path.	Provide appropriate accessibility signage to designate the accessible route of travel where it diverges from the regular circulation path.	Short-term
10.J: Directional Signage	Directional signage is not provided to indicate the accessible route to the accessible entries or accessible restrooms.	Provide directional signage to the accessible entries or accessible restrooms.	Short-term

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Braille should not be on door signs and the sign mounted on the side of the building should indicate "UNISEX" in raised characters and braille.



11: SITE FURNISHINGS & AMENITIES, INCLUDING BUS SHELTER

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
PATTON LANDING			
11: Site Furnishings & Amenities, Including Bus Shelter			
11.A: Bus Shelter Turning Area	The bus shelter does not allow for a 60" diameter turning radius for a wheelchair.	Remove bench from the bus shelter or replace bus shelter with a compliant features.	Long-term
11.B: Bus Shelter Bench	Bench does not have an accessible space provided to the side.	Replace or remove bench to allow for appropriate side clear space and appropriate 60" diameter wheelchair turning radius.	Long-term
11.C: Amenities on Accessible Routes	Picnic tables are not located on an accessible route.	Provide amenities along an accessible route of travel or provide an accessible route of travel to the amenities. Provide at least one accessible picnic table and one additional table for each 20 tables or fraction thereof. The number of overall tables should be separated by the type of experience. The table and accompanying amenities should be on an accessible route with appropriate clear space.	Long-term



The bus shelter's bench reduces the turning area inside the shelter to less than 60" and does not have an accessible space to the side.



Picnic tables are provided but none are located on an accessible route.



VAN SICKLE BI-STATE PARK

FACILITY DESCRIPTION

Van Sickle Bi-State Park is the nation's first bi-state park and was made possible through a memorandum of understanding with the Nevada Division of State Parks (NDSP) and the Conservancy. Located in South Lake Tahoe, California near the Stateline casino core, it lies partly on Conservancy (State of California) property and partly on NDSP (State of Nevada) property.

The entrance to the facility is on Conservancy property and improvements on Conservancy lands include a day-use picnic area, an equestrian trailhead, improved parking and public restroom facilities. Facilities located on Nevada lands are the responsibility of NDSP.

Accessibility issues include but are not limited to the following areas:

1. Parking
2. Accessible routes of travel: public rights of way
3. Accessible routes of travel: on-site
4. Restroom modifications
5. Signage
6. Site furnishings and amenities



Location of Van Sickle Bi-State Park – California facilities

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ADA SELF-EVALUATION AND TRANSITION PLAN



1: PARKING

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
1: Parking			
1.A: Surface	The access aisle path is constructed of decomposed granite. No overall standards exist for this material type to confirm its ability to be firm and slip resistant.	Consider in additional design guidelines.	Long-term



Access path from parking is decomposed granite which has no overall standards to confirm its ability to be firm and slip resistant.

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2: ACCESSIBLE ROUTE OF TRAVEL – PUBLIC RIGHTS OF WAY

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
2: Accessible Route of Travel – Public Rights of Way			
2.A: Cross Slope	In one area of the concrete walk the cross slope is 2.9%.	Reconstruct walkway to not exceed 2% cross slope.	Long-term
2.B: Running Slope	The majority of the concrete walk exceeds 5%. Excessive slopes range from 5.1% to 10%.		Long-term
2.C: Changes in Level	A change in level greater than ¼" exists where the path transitions to decomposed granite.	Replace or reinstall the sections of walkway to provide transitions less than ¼".	Short-term
2.D: Detectable Warnings	Detectable warnings are not provided where walkway transitions to vehicular way.	Install appropriate detectable warnings on walkways that transition vehicular ways.	Mid-term



Site Plan – Accessible Routes



Running slopes exceed 5% and cross slope exceeds 1:48 (2%) in sections.



Truncated domes are not provided at flush transitions to vehicular ways.

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ADA SELF-EVALUATION AND TRANSITION PLAN



3: ACCESSIBLE ROUTE OF TRAVEL – ON-SITE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
3: Accessible Route of Travel – On Site			
3.A: Route of Travel, Surface and Cross Slope	The decomposed granite path between the site entrance at Lake Parkway and the day-use area was not surveyed due to the nature of the trail. No overall standards exist for this material type to confirm its ability to be firm and slip resistant and be considered an accessible route of travel that connects facilities.	Consider in additional design guidelines.	Long-term
3.F: Detectable Warning	Detectable warnings are not provided where walkway transitions to vehicular way.	Install appropriate detectable warnings on walkways that transition vehicular ways.	Long-term



No overall standards exist for decomposed granite to confirm its ability to be firm and slip resistant.



4: RESTROOMS

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
4: Restrooms			
4.A: Door Operating Effort	The force required to operate the door is greater than 5 lbs.	Adjust door closure or replace door to require no more than 5 lbs. of force to operate the door. (Fire doors may have up to 15 lbs. to achieve positive latching.)	Done
4.B: Toilet Paper Dispenser	The dispenser allows for multiple rolls and is mounted at 27½" above finish floor. The end of the roll is beyond the allowable horizontal reach for a toilet paper dispenser. (Note the requirements for toilet paper dispensers have changed in the 2013 CBC. 2010 standard was for dispenser to be centered at least 19" above finish floor. 2013 standard is for the dispenser to be below the grab bar, 19" minimum above the finish floor and not located behind the grab bar. The 2013 standard also now states the dispenser should also be 7" minimum and 9" maximum in front of the water closet.)	Reinstall/replace toilet dispenser to meet accessibility requirements: distance from the front edge of the toilet to the centerline of the toilet paper dispenser is to be 7" minimum and 9" maximum. The outlet of the dispenser shall be below the grab bar, 19" minimum above the finish floor.	Short-term
4.C: Seat Cover Dispenser	The seat cover dispenser is 48" above finish floor. It exceeds the maximum 40" limit.	Lower seat cover dispenser to be no higher than 40" above finish floor.	Short-term
4.D: Lavatory Knee Clearance	Knee clearance does not extend 8" from the front edge of the lavatory. It extends 7½".	Replace lavatory or adjust stainless steel shroud over piping so that it allows for the required knee clearance.	Long-term
4.E: Side Clearance of Lavatory	There is 16¼" to the wall from the centerline of the lavatory. A minimum of 18" is required.	Adjust lavatory so that the centerline of the fixture is a minimum of 18" from the nearest sidewall or partition. Ensure that other accessibility requirements are maintained.	Long-term
4.F: Mirror	The bottom edge of the mirror's reflecting surface is more than 40" above finish floor.	Lower mirror so the bottom edge of the reflecting surface is no more than 40" above finish floor.	Short-term
4.G: Dispensers Operating Height	The air hand dryer control is 41" above finish floor (greater than the maximum 40" standard).	Lower hand dryer so that control is a maximum of 40" above finish floor.	Long-term

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The air dryer operating mechanism and the bottom edge of the mirror exceed the maximum 40" allowed height above finish floor. The center of the lavatory is located less than the 18" minimum distance from the edge of wall.



The metal shroud is 7 1/2" from the leading edge of lavatory. An 8" minimum id allowed.



The dispenser allows for multiple rolls and is mounted at 27 1/2" above finish floor. The end of the roll is beyond the allowable horizontal reach for a toilet paper dispenser.

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5: SIGNAGE

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
5: Signage			
5.A: Identification Symbols	The unisex symbol does not provide appropriate alternating contrast. The triangle does not contrast with the circle and provide alternating contrast.	Replace symbol with appropriate contrasting symbol.	Short-term
5.B: Raised and Braille Characters	The Grade 2 braille translation is "Restroom". There is no indication of whether the restroom is unisex or otherwise.	Provide new Grade 2 braille translation that matches the door's identification text (Men's or Women's/Unisex).	Short-term
5.C: Pictograms	The pictogram indicates both men and women (unisex) facilities. The raised characters indicated "Restroom". Pictograms are not required, but if provided, the text must match the pictogram.	Provide new Grade 2 braille translation that matches the door's pictogram (Men's or Women's or Unisex).	Short-term
5.D: Tow-away Sign	A tow-away sign is not posted at the parking entry or adjacent and visible from each accessible stall.	Provide a tow-away sign with required language.	Short-term



Braille should not be included on door sign and the triangle does not contrast with the circle.



Raised characters must match the pictogram (e.g. "MEN'S OR WOMEN'S" or "UNISEX" and the braille must match the raised characters.

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ADA SELF-EVALUATION AND TRANSITION PLAN



6: SITE FURNISHINGS & AMENITIES

ITEM	EXISTING BARRIER	BARRIER REMOVAL METHOD	CORRECTIVE TIMELINE
VAN SICKLE BI-STATE PARK			
6: Site Furnishings & Amenities			
6.A: Picnic Tables	Accessible picnic table does not provide 30"x48" wheelchair space nor the allowed knee space within those limits.	Replace picnic table with a table that meets accessibility requirements.	Short-term
6.B: Water Spigot	Water spigot location does not provide wheelchair access. Controls exceed 5 lbs. maximum operating pressure and would require tight grasping.	Replace water spigot with a unit that requires no more than 5 lbs. of pressure to operate and is within prescribed reach ranges. Provide a clear, stable, firm ground surface area for a forward approach.	Short-term
6.C: Animal Resistant Trash Receptacle	A person without hands may find the opening mechanism difficult or impossible to operate.	Consider in additional guidelines.	Long-term



An accessible picnic table must provide a 30"x48" wheelchair space, provide for the allowed knee space within those limits and be located on an accessible route.



Water spigot location does not provide wheelchair access. Controls exceed 5 lbs. maximum operating pressure and would require tight grasping.



A person without hands may find the opening mechanism difficult or impossible to operate.